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## **Final/Handover Building Report**

**Report Commissioned By:**

**John Smith**

**Property Address:**

**Sample**

**Building Report Reference:**

**Sample final**



# **Confidential Inspection Report**

Address: Sample

Prepared for: Mr & Mrs Smith

Prepared by: BUILT RITE INSPECTIONS  
1300 551 636

<p>This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.</p>
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October 24, 2016

RE: Sample

Dear John

At your request, a visual inspection of the above referenced property was conducted on . This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, expressed as a result of the inspection. Please take time to review limitations contained in the inspection agreement.

### **REPORT SUMMARY**

Overall, the works have been carried out in a workmanlike manner, consistent with the local building trades and codes in effect at the time of construction, with minor repairs or amendments required to be made to some items so that it meets the required Australian Standards and complies with the Guide to Standards and Tolerances 2015.

Please read the entire report to help you fully understand the items found at the time of the inspection and recommendations of repair.

Thank you for selecting our firm to do your Built Rite Inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,

BUILT RITE INSPECTIONS

# Visual Building Inspection Report

## Client & Site Information:

**COMMISSIONED BY:** John Smith.

**YOUR CONTACT:** John Smith.

**YOUR REF/FILE** sample.

**NUMBER:**

**DATE OF INSPECTION:** 20-october- 2015.

**Owner:** Mr & Mrs Smith.

**PROPERTY ADDRESS:** Sample.

### Important Information Regarding the Scope and Limitations of the Inspection and this Report

**This report complies with Australian Standard AS 4349.0 - 4349.1 - 2007 Inspection of Buildings.**

**Part 1: Property maintenance Inspections**

**If the property is not part of a Strata or Company Title - Appendix C of the Standard applies.**

**If the property is part of a Strata or Company Title - Appendix B of the Standard applies.**

**Important Information:** Any person who relies upon the contents of this report does so acknowledging that the following clauses both below and at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. It will help explain what is involved in a Standard Property Maintenance Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

**The Purpose of the Inspection:** The purpose of the inspection is to provide advice to a vendor/owner or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

**The Scope of the Inspection:** The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Vendor should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

**Acceptance Criteria:** The building shall be compared with the Australian standards and buildings that was constructed in accordance with the generally accepted practice and tolerances at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Special Requirements:** It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

**Changes to the Inspection Agreement:** It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of that agreement (if applicable) and the scope of this inspection report.

### Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.0 & 4349.1-2007. **The purpose of the inspection is to provide advice to a vendor/owner regarding the condition or**

**the stage of the property at the date and time of inspection.** Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to settlement should you have any queries. All inspection carried out are carried out as per the Australian standards and within the guide to standards & Tolerances approved by fair trading and the building control commission.

As a matter of course, and in the interests of safety, all vendors/owners should request an electrical & plumbing certificate supplied by the qualified contractor.

This report is limited to (unless otherwise noted) the main structure that has been requested, other structures of the main structure are not included unless otherwise requested.

### **Safe and Reasonable Access**

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.0 & 4349.1 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

**Roof Interior** - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

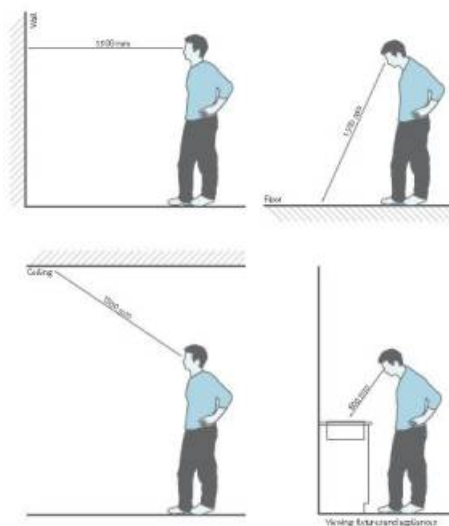
**Roof Exterior** - Must be accessible from a 3.6m ladder placed on the ground.

### **Inspecting Surfaces From a Normal Viewing Distance**

#### **GUIDE TO STANDARDS & TOLERANCES 2015**

Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where possible from a normal viewing position. A normal viewing position is looking at a distance of 1.5 m or greater (600 mm for appliances and fixtures) with the surface or material being illuminated by non-critical light<sup>1</sup>. Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.

DIAGRAM F NORMAL VIEWING POSITIONS



Slight variations in the colour and finish of materials do not always constitute a defect.

## Property Description:

<b>Building type:</b>	Two storey dwelling.
<b>External walls constructed from:</b>	Brick veneer:
<b>Roof Construction &amp; Covering:</b>	The roof is of pitched construction.
<b>Roof is to be covered with:</b>	Corrugated Colourbond custom orb.
<b>Internal walls covered with:</b>	Plasterboard:
<b>Internal ceilings covered with:</b>	Plasterboard:
<b>Windows are constructed from:</b>	Aluminium.
<b>Footings:</b>	The building is constructed on concrete slab on ground.
<b>Estimate Building Age:</b>	<ul style="list-style-type: none"> <li>The building works are new construction.</li> </ul>

The following information should be requested from the building contractor if applicable:

- Construction Final Certificate/Occupation Certificate
  - Engineering certification for any detention tanks and structural steel work and any non standard timber beams.
  - Council stamped and approved plans, development approval and specifications.
  - Home Building Warranty Insurance including specific reference to the building contractor and this project.
  - Manufacturer's certification for roof trusses if applicable.
  - Survey certificate verifying correct set out of the work including height of building where necessary.
  - Final certificates of compliance for gas, electrical and plumbing installations.
  - Certificate of compliance & safety for the glass splashback behind the cook top. (fireproof material used behind the glass)
  - Waterproofing guarantees for all wet areas.
- Certification of termite protection used in the structure and surrounds.(if termite area)

## Summary of Areas Inspected:

<b>Details:</b>	Internal area of house: External area of house.
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Note: The areas listed above are a broad indication of the areas inspected. Within these areas, some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access then further access must be gained. We strongly recommend that such access be gained to enable a more complete report to be submitted.

## Weather Conditions:

<b>Recent Weather Conditions:</b>	Dry.
<b>Weather Conditions on the Day and Time of Inspection:</b>	Dry & wet periods.

## Client payment info

### PAYMENT INFORMATION:

PAID BY:

On Site Safety

### OHS Requirements:

**Site Good:**

The site safety at the time of our inspection complied with the relevant OHS standards, no risks were found to compromise our inspection.

**Electrical Safety**

The electrical switch board is present inside the construction site meter box, all safety switches appear to be working correctly. The box is also clearly marked with the underground location of the electrical service as required by OHS.

## Roof System External

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase.

### External Roof:

**Roof Style:**

The roof is of pitched construction.

**Roof Covering**

The overall condition of the roof coverings is good.

**Condition Detail:**

### Flashings:

**Roof Flashing - Type and Condition:**

Flashing material is of sheet metal. Flashings appear to be in serviceable condition.

### Gutters & Downpipes:

**Type & Condition:**

The colourbond fascia and or gutter to the dwelling has been damaged during construction. There are areas that have been scratched; All must be made as new prior to handover.

Please note that the supplier web site on the care and maintenance of gutters clearly states that touch up paint is not to be used when rectifying these types of defects. BlueScope Steel does not recommend the use of touch up paints on COLORBOND® steel. The manufacturing process that gives COLORBOND® steel its colour and gloss retention properties means that the surface weathers differently to air drying paint. After weathering, the areas which have been touched up will look different and can leave a blotchy look. Damaged areas will need to be replaced.



**Gutter Defects:**

The gutters are currently holding more than 10mm of water which is outside the allowable level. We recommend that the gutters are relevelled by a licensed plumber to obtain the required fall to the gutters outlets.

AS3500

**3.5.2.4 Installation of gutters**

- (a) Gutters must be installed with a fall of not less than-
- (i) 1:500 for eaves gutters, unless fixed to metal fascias; and
  - (ii) 1:100 for box gutters.

**Guide to Standards & Tolerances 2015.****7.03 Water retention in gutters**

Gutters are defective if they retain a depth of more than 10 mm of water.



## Roof System Internal

**Roof Framing:****Roof Supports - Type and Condition:**

The truss roof system appears to be adequate for the roof covering.

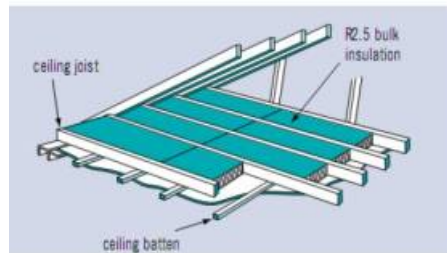
**Insulation & Sarking:****Ceiling Insulation Condition:**

Other trades appear to have removed batts from their work areas with little regard for the information inserted below. Note that batts must be installed up to the 50 mm area around protected down lights. The insulation needs to be reworked so as to be installed in a manner that complies with AS 3999 with all areas covered and the batts flush to the top of the plaster. The inserted diagrams demonstrate the minimums that must be achieved. These diagrams are basic and easily to adhered too. Installing insulation Installation guidelines. It is vital that insulation is installed with careful attention to detail, as incorrect or inappropriate installation will significantly decrease performance. For instance, failure to but all ends and edges of batts to give a snug fit could result in 5% of the ceiling area not been covered, losing up to 50% of the potential insulation benefits.

### Installing insulation

#### INSTALLATION GUIDELINES

It is vital that insulation is installed with careful attention to detail, as incorrect or inappropriate installation will significantly decrease performance. For instance, failure to butt all ends and edges of batts to give a snug fit could result in 5% of the ceiling area not being covered, losing up to 50% of the potential insulation benefits.



## Bedrooms

### Bedroom One

**Room Location:**

Adjacent to hall, Rear.

**Ceiling Condition:**

The condition of the ceilings is generally good.

**Internal Walls**

The condition of the walls is generally good.

**Condition:**

**Robes:**

The condition of the built-in wardrobes is generally good.

**Windows Condition:**

Small shrinkage cracks to internal corners, mitres or where plaster meets timber around windows and doors was noted.

### Guide to Standards & Tolerances 2015

#### 10.01 Gaps associated with internal fixing

Unless documented otherwise, gaps between mouldings or between mouldings and other

fixtures, at mitre or butt joints, or at junctions with a wall or other surfaces, are defective

if they exist at handover, or exceed 1 mm in width within the first 12 months of completion

and are visible from a normal viewing position.

After the first 12 months, gaps are defective if they exceed 2 mm in width and are visible

from a normal viewing position.

Gaps between skirting and flooring are defective if they exceed 2 mm within the first 24 months after handover and are visible from a normal viewing position.



**Doors Condition:**  
**Floors Condition:**  
**Woodwork**

The condition of the doors is generally good.

The condition of the floors is generally good.

The quirks are not consistent in some areas and can be seen from the normal viewing distance as set out in the standards & Tolerance guide. We recommend that the following areas be addressed: Window architraves.

**Guide to Standards & Tolerances 2015**

**10.03 Architrave quirks**

The width of the quirk (setback from the edge) of each length of an architrave is defective

if it is not consistent and where the irregularity can be seen from a normal viewing position.



**Bedroom Two**

**Room Location:**  
**Ceiling Condition:**  
**Internal Walls Condition:**

Adjacent to hall, Southeast corner.

The condition of the ceilings is generally good.

The condition of the walls is generally good.

**Robe**  
**Windows Condition:**

The condition of the built-in wardrobes is generally good.

Small shrinkage cracks to internal corners, mitres or where plaster meets timber around windows and doors was noted.

**Guide to Standards & Tolerances 2015**

**10.01 Gaps associated with internal fixing**

Unless documented otherwise, gaps between mouldings or between mouldings and other

fixtures, at mitre or butt joints, or at junctions with a wall or other surfaces, are defective

if they exist at handover, or exceed 1 mm in width within the first 12 months of completion

and are visible from a normal viewing position.

After the first 12 months, gaps are defective if they exceed 2 mm in width and are visible

from a normal viewing position.

Gaps between skirting and flooring are defective if they exceed 2 mm within the first 24 months after handover and are visible from a normal viewing position.



**Doors Condition:**  
**Floors Condition:**  
**Woodwork**

Striker plate or plates need adjustment to secure the door when closed.  
 The condition of the floors is generally good.  
 The condition of the woodwork is generally good.

## Bedroom Three

**Room Location:**  
**Ceiling Condition:**  
**Internal Walls Condition:**

Adjacent to hall, Southwest corner.  
 The condition of the ceilings is generally good.  
 Paint touchups on the walls are required. The areas requiring touchups have been marked with blue tape.

### **Guide to Standards & Tolerances 2015**

#### **12.02 Surface finish of paintwork**

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position. Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

**Robe:**  
**Windows Condition:**

The condition of the built-in wardrobes is generally good.  
 The condition of the windows is generally fair. Excessive dirt on the window sills means that the dirt has blown in through the framing, please check that these windows comply with the 6 star rating and that all the seals have been fitted to these windows properly.

**Doors Condition:**  
**Floors Condition:**  
**Woodwork**

The condition of the doors is generally good.  
 The condition of the floors is generally good.  
 The condition of the woodwork is generally good.

## Bedroom Four

**Room Location:**  
**Ceiling Condition:**  
**Internal Walls Condition:**

Adjacent to the bathroom.  
 The condition of the ceilings is generally good.  
 The condition of the walls is generally good.

**Robe**  
**Windows Condition:**  
**Doors Condition:**  
**Floors Condition:**  
**Woodwork**

The condition of the built-in wardrobes is generally good.  
 The condition of the windows is generally good.  
 The condition of the doors is generally good.  
 The condition of the floors is generally good.  
 The condition of the woodwork is generally good.

# Rooms

## Coats cupboard Doors Condition:

The condition of the built-in wardrobes is generally good.

The gap around the door is not consistent and varies from 3mm to 0mm, the door on the hinge side is hinge bound meaning there is no or very little gap, the door will require adjusting to give a consistent 2mm gap around the opening.



## Floors Condition: Woodwork

The condition of the floors is generally good.

The condition of the woodwork is generally good.

## Lounge Room:

### Room Location: Ceiling Condition: Internal Walls Condition:

Front.

The condition of the ceilings is generally good.

The condition of the walls is generally good.

## Windows Condition:

The condition of the windows is generally fair. The window paint appears to be transparent in places when viewed from the required 1.5 meter distance in natural lighting. When using the 2 coat paint system as recommend by the manufactures, cover is guaranteed unless the paint has been modified by watering down. We recommend that the Builder contacts the manufacturer of the paint for further comment and method of repair.

### Guide to Standards & Tolerances 2015

#### 12.02 Surface finish of paintwork

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

**Floors Condition:**  
**Woodwork**

The condition of the floors is generally good.

The condition of the woodwork is generally good.

## Bathrooms

**Important Notes:** Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

### Bathroom:

**Room Location:**

Adjacent to hall.

**Ceiling Condition:**

The condition of the ceilings is generally good.

**Internal Walls**

The condition of the walls is generally good.

**Condition:**

**Windows Condition:**

The condition of the windows is generally good.

**Floors Condition:**

The condition of the floors is generally good.

**Woodwork**

The condition of the woodwork is generally good.

**Shower/Bath Condition:**

The shower recess was tested and there was no visible water penetration to surrounding areas. **IMPORTANT NOTE:** This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time.

**Wall Tiles:**

The aluminium strips have been installed poorly and required repairs. The corner has been mitered leaving a sharp jagged edge, we recommend that this corner be filed or reconfigured to eliminate the sharp edge.



**Floor Tiles**

The floor tiles have been laid as per the requirements of the Australian standards, all grout lines and gaps look consistent.

**Basin & Taps:**

The basin & taps appear serviceable.

**Vanity Unit:**

The condition of the vanity unit is generally fair.

**Toilet Condition:**

The toilet appears to be in working order.

**Floor/Floor Waste:**

The shower water appears to have been installed correctly and has no or very little lipage.

**Ventilation:**

An exhaust fan is present and in working order.

**Ensuite Bathroom:**

<b>Room Location:</b>	Main bedroom en suite.
<b>Ceiling Condition:</b>	The condition of the ceilings is generally good.
<b>Internal Walls Condition:</b>	The condition of the walls is generally good.

**Windows Condition:** The condition of the windows is generally fair. Touch up paint on architraves.



<b>Doors Condition:</b>	The gap around the door is excessive.
<b>Floors Condition:</b>	The condition of the floors is generally good.
<b>Woodwork</b>	The condition of the woodwork is generally good.
<b>Shower/Bath Condition:</b>	The shower recess was tested and there was no visible water penetration to surrounding areas. IMPORTANT NOTE: This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time.
<b>Wall Tiles:</b>	The grouting has been finished poorly, pitted/poorly tooled or missing grout was noted at the time of the inspection. Repairs are required in the following areas: Shower walls

**Guide to Standards & Tolerances 2015****11.06 Grouting and joints**

Grouting is defective if it is not carried out in accordance with the requirements of Clause 5.7 of AS 3958.1.

Joints are defective if they are not, as far as is practicable, of consistent width and can be seen from a normal viewing position.

Finished grout is defective if it is not uniform in colour, smooth, without voids, pinholes or low spots.

a) The top surface of the grout may be tooled to provide a contoured depression of no deeper than 1 mm for up to 6 mm wide joint and up to 2 mm for a 6-10 mm wide joint (clause 5.7(e) of AS 3958.1).

b) Joint widths for floor tiles should not exceed 3 mm for pressed tiles and 6 mm for extruded tiles (clause 4.6(c)(i) of AS 3958.1).

c) Joint widths for wall tiles should not exceed 1.5 mm for pressed tiles and 6 mm for extruded tiles (clause 5.4.6(c)(ii) of AS 3958.1).

d) Joint alignment should be consistent throughout the installation within a tolerance of 4 mm in 2 m8 (clause 5.4.6(d) of AS 3958.1).

Grout is defective if it becomes loose within 24 months of handover.

<b>Floor Tiles</b>	The floor tiles have been laid as per the requirements of the Australian standards, all grout lines and gaps look consistent.
<b>Basin &amp; Taps:</b>	The basin & taps appear serviceable.
<b>Vanity Unit:</b>	The condition of the vanity unit is generally good.
<b>Toilet Condition:</b>	A leak is present at the rear of the toilet pan and appears to be caused from a leaking pan seal or cistern leak. A plumber should investigate and rectify the leak.

**Ventilation:** An exhaust fan in present and in working order.

## Bath

The bath tub is in good condition.

# Kitchen

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

## Kitchen:

**Room Location:** Front.

**Ceiling Condition:** The condition of the ceilings is generally good.

**Internal Walls Condition:** The condition of the walls is generally fair. Some paint touch ups are required. All areas that require paint touch ups have been marked up with Blue tape.



**Pantry** The condition of the built-in pantry is generally good.

**Windows Condition:** The condition of the windows is generally good.

**Floors Condition:** The condition of the floors is generally good.

**Woodwork** The condition of the woodwork is generally good.

**Kitchen Fixtures:** The condition of the fixtures is generally good.

**Appliance Condition:** The appliances are in good condition and have been installed in a good manner.

**Wall Tiles:** The condition of the tiles is generally good. A flexible sealant should be provided to the gaps between tiled corners or areas to provide an acceptable finish and prevent water penetration.



**Floor Tiles** The floor tiles have been laid as per the requirements of the Australian standards, all grout lines and gaps look consistent.

**Sink & Taps:** The sink and taps appear to be in a serviceable condition.

**Ventilation:** An exhaust fan in present and in working order.

Laundry

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Laundry:

General condition of area:	This area is generally in good condition.
Room Location:	Adjacent to hall.
Ceiling Condition:	The condition of the ceilings is generally good.
Internal Walls Condition:	The condition of the walls is generally fair. Some paint touch ups are required. All areas that require paint touch ups have been marked up with Blue tape.
Built in Cupboard	The condition of the built-in wardrobes is generally good.
Windows Condition:	The condition of the windows is generally good.
Doors Condition:	Paint touchups on the door are required. The areas requiring touchups have been marked with blue tape.

Guide to Standards & Tolerances 2015

12.02 Surface finish of paintwork

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position. Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.



**Floors Condition:  
Woodwork**

The condition of the floors is generally good.

Paint touchups on the architraves are required. The areas requiring touchups have been marked with blue tape.

**Guide to Standards & Tolerances 2015**

**12.02 Surface finish of paintwork**

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position. Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.



**Tub & Taps:**

The tub and taps appear serviceable. Caulking around the trough is required.



**Wall Tiles:  
Floor Tiles**

The condition of the tiles is generally good.

The caulking applied to the corners and junctions is either missing or has been poorly applied, rectification or completion is required in the following areas:

**Guide to Standards & Tolerances 2015**

**11.07 Flexible sealants to junctions**

Flexible or waterproof sealants to junctions are defective if they are not installed when required by the Building Code of Australia and AS 3958.1, or in accordance with the manufacturers installation requirements.

**Ventilation:** An exhaust fan in present and in working order.

## Toilets

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

### Toilet:

**General condition of area:**

This area is generally in good condition.

**Ceiling Condition:**

The condition of the ceilings is generally good.

**Internal Walls**

The condition of the walls is generally fair. Some paint touch ups are required. All areas that require paint touch ups have been marked up with Blue tape.

**Condition:**



**Windows Condition:**

The condition of the windows is generally good.

**Floors Condition:**

The condition of the floors is generally good.

**Woodwork**

Paint touchups on the architraves are required. The areas requiring touchups have been marked with blue tape.

### Guide to Standards & Tolerances 2015

#### **12.02 Surface finish of paintwork**

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position. Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.



**Toilet Condition:**

The toilet appears to be in working order.

**Basin & Taps:**

The basin & taps appear serviceable.

**Wall Tiles:**

The condition of the tiles is generally good.

**Floor Tiles**

The floor tiles have been laid as per the requirements of the Australian standards, all grout lines and gaps look consistent.

**Ventilation:**

An exhaust fan is present and in working order.

## Stairs Internal

**Internal Stairs:**

**Type & Condition:**

The stairs are constructed primarily from timber. The overall condition of the stairs is good. The gap between the timber stringer and wall board should be quaded with a timber bead or sealed with a silicon based product.



## Stair Defects

The stair tread have been constructed from a non porous product or have had a product applied which can allow for slippage causing unsafe use. We recommend that a non slip surface be attached as per the below requirements of the Australian Standards AS3900 All products provide for the purpose of non slip must be provided with documentation of proof that the product used has been tested and approved for its purpose.

### 3.9.1.4 Slip-resistance

The requirements for slip-resistance treatment to stair treads, ramps and *landings* are as follows:

- (a) Treads must have-
  - (i) a surface with a slip-resistance classification not less than that listed in **Table 3.9.1.3** when tested in accordance with AS 4586; or
  - (ii) a nosing strip with a slip-resistance classification not less than that listed in **Table 3.9.1.3** when tested in accordance with AS 4586.
- (b) The floor surface of a ramp must have a slip-resistance classification not less than that listed in **Table 3.9.1.3** when tested in accordance with AS 4586.
- (c) *Landings*, where the edge leads to the *flight* below, must have-
  - (i) a surface with a slip-resistance classification not less than that listed in **Table 3.9.1.3** when tested in accordance with AS 4586, for not less than 190 mm from the stair nosing; or
  - (ii) a nosing strip with a slip-resistance classification not less than that listed in **Table 3.9.1.3** when tested in accordance with AS 4586.

#### Explanatory information:

To determine the appropriate surface of a tread or the floor surface of a ramp, it is necessary to determine the likely conditions the tread or ramp will be subject to over the life of the building. This can be either dry, wet or both. A dry surface is one that is not normally wet or likely to be made wet other than by an accidental spill. A wet surface is one that is normally wet or likely to be made wet, including areas exposed to the weather.

Under **3.9.1.4(a)** stair treads must have a surface or nosing strip which minimises the risk of people slipping and injuring themselves. In each case the surface or nosing must have a slip-resistance classification when tested in accordance with AS 4586. There are two tests (the Wet Pendulum Test or the Oil-Wet Inclining Platform Test) and two conditions (dry or wet) to be considered.

Under **3.9.1.4(b)** the floor surface of a ramp must be slip-resistant to minimise the risk of people slipping and injuring themselves. The surface must have a slip-resistance classification when tested in accordance with AS 4586.



## Exterior:

### External Walls:

**Condition:**

The condition of the walls is generally fair.

**Masonry Defects:**

The Brick/Blockwork in places is poorly finished and does not comply with AS 3700 for the following reason.

Holes or blemishes in the mortar when viewed from the normal viewing distance are considered defects. All works subject to AS 3700 and standards and tolerances Item 3.09 We recommend this be brought to the attention of your builder for justification and repairs.

#### 3.09 Voids and holes in mortar

Voids and holes in mortar in masonry walls, with the exception of weepholes and vents,

are defective if they are visible from a normal viewing position.

Gaps along side windows will require caulking to help prevent water penetration and wind blow dust.





#### Window Defects:

The window frames are marked and damage in places listed: Family room. Repairs or replacement to the damaged areas are required.

**Results:** The powdercoat finish is damaged to the frame section, which cannot be correctly repaired on site and will have to be replaced. Prior to aluminum being powder coated it must be chemically cleansed and etched to ensure correct adhesion and durability. This process is called Chemical Chromate Conversion. The aluminum is cleaned and rinsed in a series of tanks prior to being chemically etched. This final process applies a layer of Chromate as chemical protection, which gives the aluminium excellent corrosion resistance. Following this, the powder coat is applied using electrostatic spray equipment and baked at 180 - 200oC until cured. In attempting to effect an onsite repair, scratches and/or marks are rubbed with wet & dry sand paper. This involves rubbing through the powdercoat back to the aluminum, breaking through the corrosion protection layer and thereby nullifying the corrosive resistant' s of the aluminum. The area is then over-coated with an aerosol lacquer, which is an inferior product to the powdercoat and weathers differently to it. Acrylic lacquer is soft and offers only moderate durability to ultra violet, pollution and general dirt and grime. Also the layer of chromate has not been replaced, which greatly reduces the durability of the coating.

It should be noted that the door/Window manufacturer is exactly that - a manufacturer of door sections - and are not qualified or capable of repairing powdercoat finishes on site, which they often attempt to do, therefore all of the affected sections must be replaced with new ones.



#### 3.4.1.2 Subfloor ventilation

(a) Subfloor spaces must-

(i) be provided with openings in *external walls* and internal subfloor walls in accordance with **Table 3.4.1.1** for the

climatic zones given in **Figure 3.4.1**; and

(ii) have clearance between the ground surface and the underside of the lowest horizontal member in the subfloor in accordance with **Table 3.4.1.1** (see **Figure 3.4.3**).

**Notes:** 1. 400 mm clearance *required* only where termite management systems are installed that need to be inspected (see **Part 3.1.3**). 2. On sloping *sites* the 400 mm clearance *required* by 1. may be reduced to 150 mm within 2 m of *external walls* in accordance with **Figure 3.4.3**. 3. In situations where openings in *external walls* and internal subfloor walls, including *separating walls*, are not able to be provided, additional measures must be provided to ensure that the overall level of ventilation of the subfloor space is maintained. This may include measures similar to those in **3.4.1.2(e)** i.e. providing durability class timbers, or having the ground sealed in the subfloor space with an impervious membrane.

(i) be cleared of all building debris and vegetation; and

(ii) have the ground beneath the suspended floor graded in accordance with **3.1.2.3**; and

(iii) contain no dead air spaces; and

(iv) have openings evenly spaced as far as practicable (see **Figure 3.4.2**); and

(v) have openings placed not more than 600 mm in from corners.

(b) In addition to **(a)**, a subfloor space must-

(c) In double leaf masonry walls, openings specified in **(a)** must be provided in both leaves of the masonry, with openings being aligned to allow an unobstructed flow of air (see **Figure 3.4.2**).

(d) Openings in internal subfloor walls specified in **(a)** must have an unobstructed area equivalent to that *required* for the adjacent external openings (see **Figure 3.4.2**).

(e) Where the ground or subfloor space is excessively damp or subject to frequent flooding, in addition to the requirements of **(a)** to **(d)**-

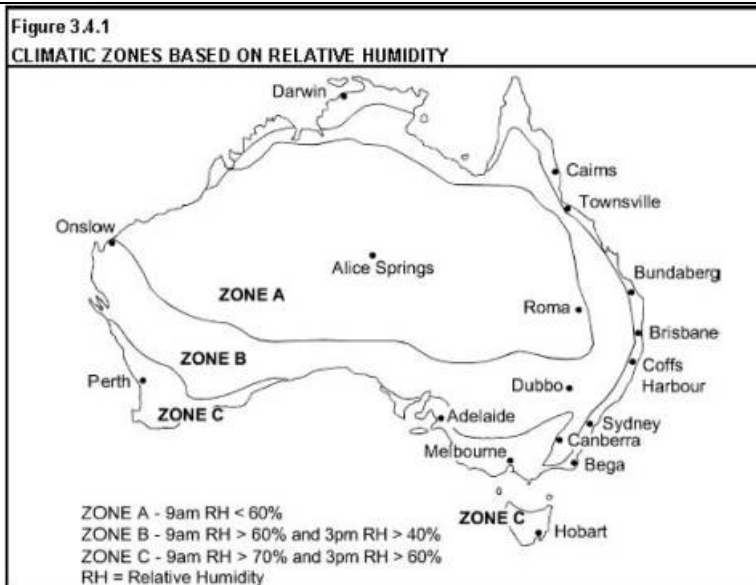
(i) the subfloor ventilation *required* in **(a)** must be increased by 50%; or

(ii) the ground within the subfloor space must be sealed with an impervious membrane; or

(iii) subfloor framing must be-

(A) durability Class 1 or 2 timbers or H3 preservative treated timbers in accordance with AS 1684 Parts 2, 3 or 4; or

(B) steel in accordance with NASH Standard 'Residential and Low-Rise Steel Framing' Part 2.



## Articulated Joints:

### Control Joint:

The expansion joint has been poorly filled with silicon and requires repairs. Location front above garage door.



## Weep Holes

### Weepholes:

The weep holes to the base of the brick walls are partially blocked by gardens or pathway heights and should be cleared to help stop moisture and pest problems.

### Position/Location:

Northern elevation, Southern elevation, Eastern elevation.

## External Lintels:

### Type & Condition:

The lintels are of mild steel, Minor rust is evident to the steel in some lintels. This should be treated to prevent further deterioration.

# Garaging

## Garage:

### Garage Location:

Under the main roof.

### General Overall

The overall condition of the garage is good.

### Condition:

### Roof Construction:

The roof is of pitched style construction.

### Roof Covering:

Concrete tiles:

### Roof Covering

The overall condition of the roof coverings is good.

### Condition in Detail:

### External walls

Single brick:

### constructed from:

### External Wall General

The condition of the walls is generally good.

### Condition:

### Front Doors - Type &

The main garage door is a panel lift style door and is in good condition.

### Condition

### Floor - Type & General

The concrete floor is generally in good condition.

### Condition

### Gutters & Downpipes:

Appear to be in serviceable condition.

### Eaves Type &

The overall condition of the eaves lining is fair.

### Condition:

# Services

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

**Services:****Details:**

Gas is connected to the premises but has not been inspected. Smoke detectors are fitted, however, the positioning, operation or adequacy was not tested and is not commented on. Earth leakage and circuit breaker are fitted and serviceable.

**Water Lines & Pressure:****Details:**

The visible water lines are in copper and polybutylene.

**Hot Water Service:****Hot water is provided by the following:**

Gas hot water system: Solar collector and tank hot water system:

**Age of Unit:**

The hot water service has no date but appears to be new.

## House Clean

**House Clean:****Not Clean:**

It was noted that at the time of this inspection that the house was not in a tidy and clean state of which you would expect for a house ready for handover. We recommend that the builder clean the house again to achieve the required level as per the guide to standards and tolerances 2015 attached below.

**18.08 Cleaning**

Owners are entitled to expect that the building site and works are clean and tidy on completion. Where handover is delayed for any reason the owner must expect that dust may have settled on interior exposed surfaces.

Building sites are defective if they are not clear of building debris.

Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned, and shelving, drawers and cupboards ready for use.

## Site:

**Drainage - Surface Water and Grade:****Condition:**

Site drainage appears to be acceptable. However, the site should be monitored during heavy rain to determine whether the existing drains can cope. If they cannot cope, then additional drains may be required.

**Driveway:****Type & Condition:**

The concrete driveway stands in good condition.

**Paths/Paved Areas:****Type & Condition:**

The concrete paths/paved areas are in good condition.

**Fences & Gates:****Fences Type & Condition:**

The fences are mainly constructed from timber. The fences are generally in good condition.

# Important Information

## Important Information:

The following forms an integral part of the report and **MUST** be read in conjunction with the entire report.

### General Definitions used in this report:

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

**Good** - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

**Fair** - The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

**Poor** - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

**Above Average** - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

**Average** - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average** - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Appearance Defect** - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect** - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect** - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Accessible Area** - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

### **BUILDING TERMINOLOGY**

**Ant Capping** Termite barrier (shield), usually of galvanised iron, placed over piers and dwarf walls to control the entry of termites.

**Arch** A structure of wedged shaped blocks, or square blocks with wedge shaped joints, over an opening so disposed as to hold together when supported from the sides, and capable of carrying a load over the opening.

**Architrave** A moulded section covering the joint between window and door frames and the wall lining.

**Backfill** To fill the earth, any remaining space after placing concrete, brickwork, timber, pipes etc. in an excavation.

**Bagging** A masonry process in which thin mortar is applied to the face of the work with some coarse material.

**Barge Board** The board covering the roof timbers on the gable or skillion end of a roof, fixed parallel to the roof slope.

**Bead** A moulding, generally of small size in cross section.

**Beam** A horizontal load-bearing structural member.

**Bearer** A member of floor framing, spanning piers and supporting joists.

**Bed Joint** Horizontal joint in brickwork

**Bowing** Deformation of timber at right angles to its face

**Brace** Usually a diagonal, which resists lateral loads and/or movements of a structure.

**Brick Construction** A construction where the external and internal walls are built of brick.

**Brick Veneer** Timber framed construction with an outside skin of brickwork tied to the frame.

**Building Line** A line established by the local council which is the minimum distance that must be maintained from the building to the street boundary.

**Cantilever** A projecting beam supported at one end, or a large bracket for supporting a balcony or cornice.

**Capping** The uppermost part on top of a piece of work.

**Caulking-** (1) A flexible material used to seal a gap between two surfaces e.g. between pieces of siding or the corners in tub walls. (2) To fill a joint with mastic or asphalt plastic cement to prevent leaks.

**Cavity Wall** A hollow wall, usually consisting of two brick walls erected 40-50mm apart and joined together with ties of metal.

**Ceiling Joist** A structural member which binds the wall and roof framing together and carries the mass of the ceiling sheeting.

**Cladding** Any material used to face a building or structure.

**Condensation-** Beads or drops of water (and frequently frost in extremely cold weather) that accumulate on the inside of the exterior covering of a building. Use of louvers or attic ventilators will reduce moisture condensation in attics. A vapor barrier under the gypsum lath or dry wall on exposed walls will reduce condensation.

**Control joint-** Tooled, straight grooves made on concrete floors to "control" where the concrete should crack

**Cornice** A horizontal decorative moulding that is designed to provide an attractive finish the junction of the wall and ceiling.

**Crazing** Fine cracks that may occur on a plastered or rendered surface.

**Cupping** Distorting of wide boards showing curvature across the grain causing the broad surface to be concave.

**Damp Proof Course (DPC)** A barrier, usually physical, built into masonry to prevent moisture migrating up from the ground or down from above, e.g. chimneys, parapets.

**Door Jambs** The two vertical members of a door or window frame.

**Eave** The lower part of a roof that overhangs the walls.

**Efflorescence** A white or coloured powder sometimes formed on the surface of masonry by the deposit of soluble salts.

**Elevation** A geometrical drawing of a facade/wall of a building.

**Expansion Joint** A joint in a building to permit thermal movement or creep.

**Expansion Strip** A soft, resilient material used to fill the void provided for the expansion and contraction of any two adjacent substances.

**Fascia** A board fixed horizontally to the lower ends of the rafters, to which guttering may be fixed. Also forms the outside board of a boxed eave.

**Finishes** The final applied coat or natural surface of a material used in walls, ceilings or floors of a building.

**Footing** The construction whereby the weight of the structure is transferred from the base structure to the foundation.

**Foundation** The ground upon which the footings of a building are constructed.

**Gable** The triangular end of a house formed at the end of a pitched roof, from eaves level to apex.

**Hip** A slanting ridge formed by the intersection of two sloping roof surfaces at an external corner.

**I-joist-** Manufactured structural building component resembling the letter "I". Used as floor joists and rafters. I-joists

include two key parts: **flanges** and **webs**. The **flange** of the I joist may be made of laminated veneer lumber or dimensional lumber, usually formed into a 38mm width. The **web** or center of the I-joist is commonly made of plywood or oriented strand board (OSB). Large holes can be cut in the web to accommodate duct work and plumbing waste lines. I-joists are available in lengths up to 20 meters long

**Lintel** A structural member or beam carrying loads over an opening.

**Lyctus Borer** A borer that attacks sapwood or hardwoods.

**Manufacturer's specifications-** The written installation and/or maintenance instructions which are developed by the manufacturer of a product and which may have to be followed in order to maintain the product warrantee.

**Masonry** Brick, concrete, stone, artificial stone or terracotta laid in mortar.

**Mitre** Half the angle of a joint, e.g. corners of door/window architraves.

**Moisture Barrier** Material which is used to retard the flow of vapour or moisture into the floor or walls.

**Moisture Content** Mass of water contained in timber expressed as a percentage of dry wood fibre.

**Mortar** A composition of lime and/or cement and sand mixed with water in various proportions.

**Nogging** A horizontal piece of timber fixed between studs in a framed wall.

**Non-Load Bearing Wall** One which supports no vertical load except that of its own weight and merely defines spaces.

**Overhang (Roof)** The section of a roof extending over the external wall.

**Parapet** Low wall at the edge of a roof, balcony, bridge or terrace.

**Party Wall** The wall between two adjoining buildings but common to and used to advantage of both buildings.

**Pergola** An open framework over a path, terrace or patio.

**Perpend** The vertical joints in a masonry wall.

**Plumb** Vertical or perpendicular

**Plywood-** A panel (normally of wood made of three or more layers of veneer, compressed and joined with glue, and usually laid with the grain of adjoining plies at right angles to give the sheet strength.

**Quoin** The dressed or finished stones at the corners of a masonry home, sometimes faked in a stucco or wood structure.

**Rafter (Common)** In roof construction, a timber framing member providing the principal support for the roofing material.

**Reinforcing Fabric (Reo)** Prefabricated steel reinforcement for concrete, consisting of an oblong or square mesh of parallel steel wires welded at points of contact and manufactured in flat sheets or rolls.

**Retaining Wall** Any wall subjected to lateral pressure other than wind pressure and built to retain material.

**Ridge** The horizontal member at the highest point of a roof where the common rafters meet.

**Roof Pitch** The angle formed between a sloping roof surface and a horizontal line.

**Roof Truss** A frame designed to carry the loads of a roof and its covering over the full span without intermediate support.

**Rough in** To lay out the basic lines of electrical or plumbing requirements, without making the final connections.

**Sarking** A covering of water-proof building paper beneath the external roof covering.

**Sash** The framework in a window, into which the glass is fitted.

**Soffit** The lower face or under-surface of anything (arch, eaves of a roof).

**Stud** A vertical member in wall framing.

**Suspended Ceiling** A ceiling which is suspended from and is not in direct contact with the floor or roof construction above and generally used to conceal services.

**Underpinning** The construction of new footing and walling under the footings of an existing structure which have failed or may fail.

**Valley** The internal angle formed by two inclined slopes of a roof or an internal corner.

**Wall Tie** A steel wire tying brickwork to a timber frame.

**Weep Holes** Openings left in the perpend of a brickwork course over flashings and at the bottom of wall cavities for drainage purposes.

### General and Important Information:

*Note:* In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior

of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

**Shower Recesses:** Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

**Glass Caution:** Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

**Stairs & Balustrades:** Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

**Rooms below ground level:** If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

**Trees:** Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

**The septic tanks:** Should be inspected by a licensed plumber.

**Swimming Pools:** Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

**Surface Water Drainage:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

### **Important Information Regarding the Scope and Limitations of the Inspection and this Report**

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

- 1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.
- 2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking

apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

**3)** Our role is confined to that of a Building Consultant to supply a defects report and not that of a Building Surveyor or Inspector as defined in the Building Act of 1993. Our inspectors do not hold qualifications as **Building surveyors, Geotechnical or structural Engineers or Land Surveyors** and therefore make no comment on the following:- The structural integrity of the building or the capacity and/or consistency of the sites foundation material or method, The design of the buildings footing system, The roof and site drainage systems, Any title boundaries or the location of any easements and/or their assets, The buildings boundary setbacks or the siting of the dwelling, Any glazing for compliance with the codes and standards, All the require response should be sourced from the licensed professionals as listed above.

**4)** This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighborhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a Special-Purpose Property Report.)**

**5) CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.

**6) ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

**7)** All on site measurements are taken from a 8m steel or fiber measuring tape and all levels are taken by either 2 meter, 900mm or 600mm spirit level. All wall and floor areas that have furniture, building materials or debris present at the time of our inspection can not be checked for level or straightness, therefore no comment will be offered.

**8) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its

presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

**9) Estimating Disclaimer:** Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

**10) Cracking of Building Elements:** The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

**Appearance Defect:** Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect:** Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect:** Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects. Cracking in a structural element does not necessarily indicate a structural defect.

Damage Category: Where cracking in masonry or concrete is categorised, the following damage category can be applied.

- **Damage Category 0:** Width less than 0.1mm - Hairline cracks - No need to repair.
- **Damage Category 1:** Width less than 1.0mm - Fine cracks - No need to repair.
- **Damage Category 2:** Width less than 5.00mm - Cracks noticeable but easily filled - Windows or doors may stick slightly.
- **Damage Category 3:** Width between 5.00mm and 15.00mm (or a number of cracks 3.00mm or more in one group) - Cracks can be repaired and possibly a small amount of wall will need to be replaced. Doors and windows may stick and service pipes may fracture.
- **Damage Category 4:** Width between 15.00mm and 25.00mm - Extensive repair work may be required involving breaking out and replacing sections of walls, especially over doors and windows. Doorframes may distort. Walls lean or bulge noticeably, some loss of bearing in beams. Service pipes may be disrupted.

**11) CONDITIONS :-** This standard property report is conditional upon or conditional in relation to -

- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- information provided by the person, the employees or agents of the person requesting the report;
- the specific areas of expertise of the consultant specified in the report;
- apparent concealment of possible defects; or
- any other factor limiting the preparation of the report.

**12)** If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:

- a) Obtain a statement from the owner as to
    - i. any Timber Pest activity or damage;
    - ii. timber repairs or other repairs
    - iii. alterations or other problems to the property known to them
    - iv. any other work carried out to the property including Timber Pest treatments
    - v. obtain copies of any paperwork issued and the details of all work carried out
  - b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.
- 13)** The Inspection Will not cover or report the items listed in Appendix D
- 14)** You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner/builders of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects
- 14)** Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.
- 16)** The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause. However, We may sell the Report to any other Person although there is no obligation for Us to do so. This report and its contents is the copyright to **Built Rite Inspection**. Any person, party or entity without our expressed written permission is in breach of this copyright.
- 17)** You release Us from any and all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of whatever nature that the Person may have at any time hereafter arising from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.
- 18)** You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.
- 19) Exclusions.**
- a) Defects only visible under artificial lighting.
  - b) Defects not within the scope of works.
  - c) Checking measurements of room sizes, house size, squareness.
  - d) Defects that could not be seen during a non invasive inspection.
  - e) Defects noted but are not complete or marked to be rectified by the Owners/Builders
  - f) No comments given on outside materials such as landscaping, retaining walls, water tanks, A visual comment will be given on the state of the concrete drive and paths but no inspection during pre pour.
  - g) Contractual documents or selection agreements such as electrical, heating, cooling, joinery, detailed plans; and/or full colour selection specifications
  - h) Item of inconsequential damage such as minor paint or plaster touchups, minor cranking to the cornice line/plaster or architrave joins or the minor miss alignment of draws, cupboard doors or latches or items we consider to be of minor significance or items that can be addressed at maintenance stage may not be included in this report.
  - i) Enquiries to the professionals involved in the preparation of the building documents (ie: soil test, engineers, draftsman or architects) or the issuing of permits or granting permission for works.
  - j) Defects only apparent in different weather conditions such as wind or rain that are not present at the time of the inspection.

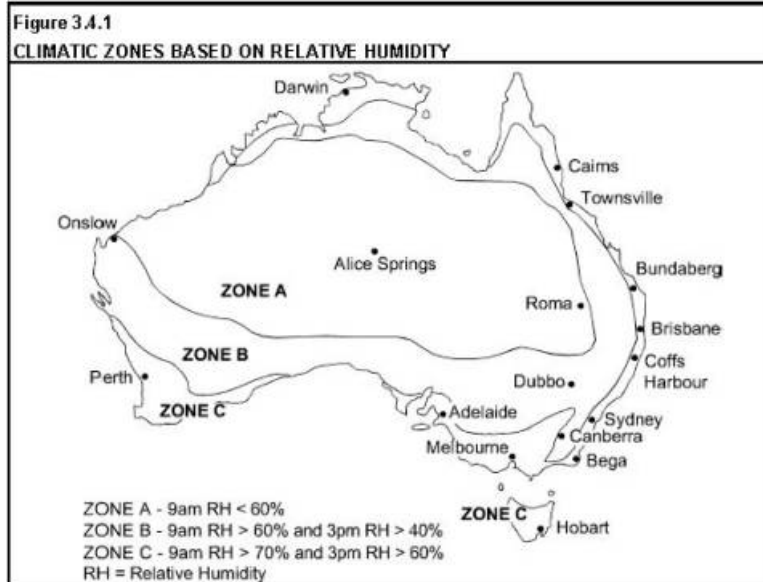
#### 3.4.1.2 Subfloor ventilation

(a) Subfloor spaces must-

- (i) be provided with openings in *external walls* and internal subfloor walls in accordance with **Table 3.4.1.1** for the climatic zones given in **Figure 3.4.1**; and
- (ii) have clearance between the ground surface and the underside of the lowest horizontal member in the subfloor in accordance with **Table 3.4.1.1** (see **Figure 3.4.3**).

**Notes:** 1. 400 mm clearance *required* only where termite management systems are installed that need to be inspected (see **Part 3.1.3**). 2. On sloping *sites* the 400 mm clearance *required* by 1. may be reduced to 150 mm within 2 m of *external walls* in accordance with **Figure 3.4.3**. 3. In situations where openings in *external walls* and internal subfloor walls, including *separating walls*, are not able to be provided, additional measures must be provided to ensure that the overall level of ventilation of the subfloor space is maintained. This may include measures similar to those in **3.4.1.2(e)** i.e. providing durability class timbers, or having the ground sealed in the subfloor space with an impervious membrane.

- (i) be cleared of all building debris and vegetation; and
  - (ii) have the ground beneath the suspended floor graded in accordance with **3.1.2.3**; and
  - (iii) contain no dead air spaces; and
  - (iv) have openings evenly spaced as far as practicable (see **Figure 3.4.2**); and
  - (v) have openings placed not more than 600 mm in from corners.
- (b) In addition to **(a)**, a subfloor space must-
- (c) In double leaf masonry walls, openings specified in **(a)** must be provided in both leaves of the masonry, with openings being aligned to allow an unobstructed flow of air (see **Figure 3.4.2**).
  - (d) Openings in internal subfloor walls specified in **(a)** must have an unobstructed area equivalent to that *required* for the adjacent external openings (see **Figure 3.4.2**).
  - (e) Where the ground or subfloor space is excessively damp or subject to frequent flooding, in addition to the requirements of **(a)** to **(d)**-
  - (i) the subfloor ventilation *required* in **(a)** must be increased by 50%; or
  - (ii) the ground within the subfloor space must be sealed with an impervious membrane; or
  - (iii) subfloor framing must be-
- (A) durability Class 1 or 2 timbers or H3 preservative treated timbers in accordance with AS 1684 Parts 2, 3 or 4; or
  - (B) steel in accordance with NASH Standard 'Residential and Low-Rise Steel Framing' Part 2.



## **IMPORTANT DISCLAIMER**

**DISCLAIMER OF LIABILITY:** -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report). All References contained within this report to the Building Acts & Regulations, the Building Code of Australia (BCA), any Australian Standards, a Building Commissions document, a manufacturers technical data sheet or installation instruction, or any other document are neither exhaustive, complete or a substitute for the original document and are provided to facilitate the understanding of this report

only. We therefore accept no responsibility for any loss, damage or expense incurred for reliance upon the part references contained within this report.

**DISCLAIMER OF LIABILITY TO THIRD PARTIES: - We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.**

**CONTACT THE INSPECTOR**

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

**VCAT COMPLIANCE.**

No allowance or quote has been given for the preparation of documents suitable for a **VCAT** hearing, these documents have not been prepared for **VCAT** in accordance with Practice note 2 under section 158 of the Victorian Civil & Administrative Tribunal Act 1998. If these documents are required please ring for a quote.

..... End Of Report .....